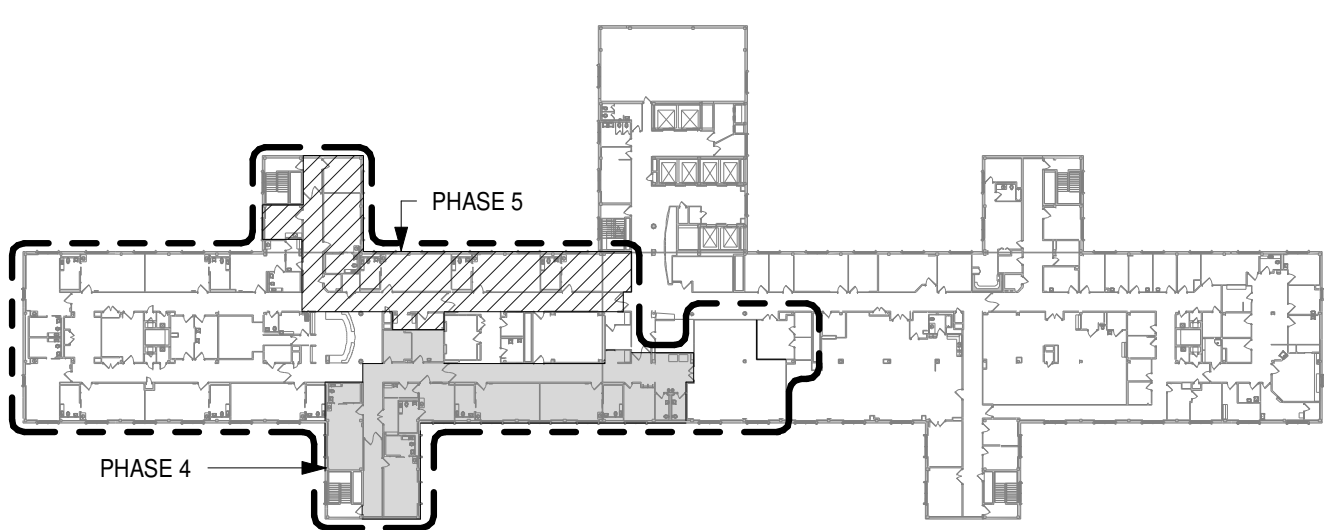
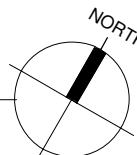









- LIFE SAFETY GENERAL NOTES**
1. See cover sheet for applicable code information.
 2. Contractor shall inform Architect and COR immediately of any discrepancies in the existing rated wall construction and reinforcement penetrations.
 3. Project scope life work is indicated for general intent only. Contractor will complete all work regardless if it is located outside of project scope area as indicated on any drawing.
 4. Travel distances are from remote point to exit.
 5. Provide firestopping at all penetrations through new and existing fire/smoke rated barriers (walls, floors and linen closets) in compliance with required rating associated with new work. Provide firestopping around 8 penetrations less than 6 square inches, 4 penetrations between 6 and 36 square inches, and 4 penetrations between 36 and 64 square inches through existing fire/smoke rated barriers (walls and floors) in comply with required rating not associated with new work. Larger openings shall be brought to the immediate attention of the COR.
 6. Contractor shall provide Fire Alarm devices in accordance with Electrical Drawings.
- DUCT/ALTERNATES NOTES**
- A. Life Safety Plans are affected by the Duct/Alternates as follows:
 - Duct/Alternate #1** - No revisions to Life Safety Plans.
 - Duct/Alternate #2** - No revisions to Life Safety Plans.
 - Duct/Alternate #3** - Signage required at door #B1004; "NO AN EXIT" during Phase 4.
- LIFE SAFETY CODED NOTES**
- (None)



KEY PLAN - PHASES 4 & 5



DEMOLITION PLAN LEGEND

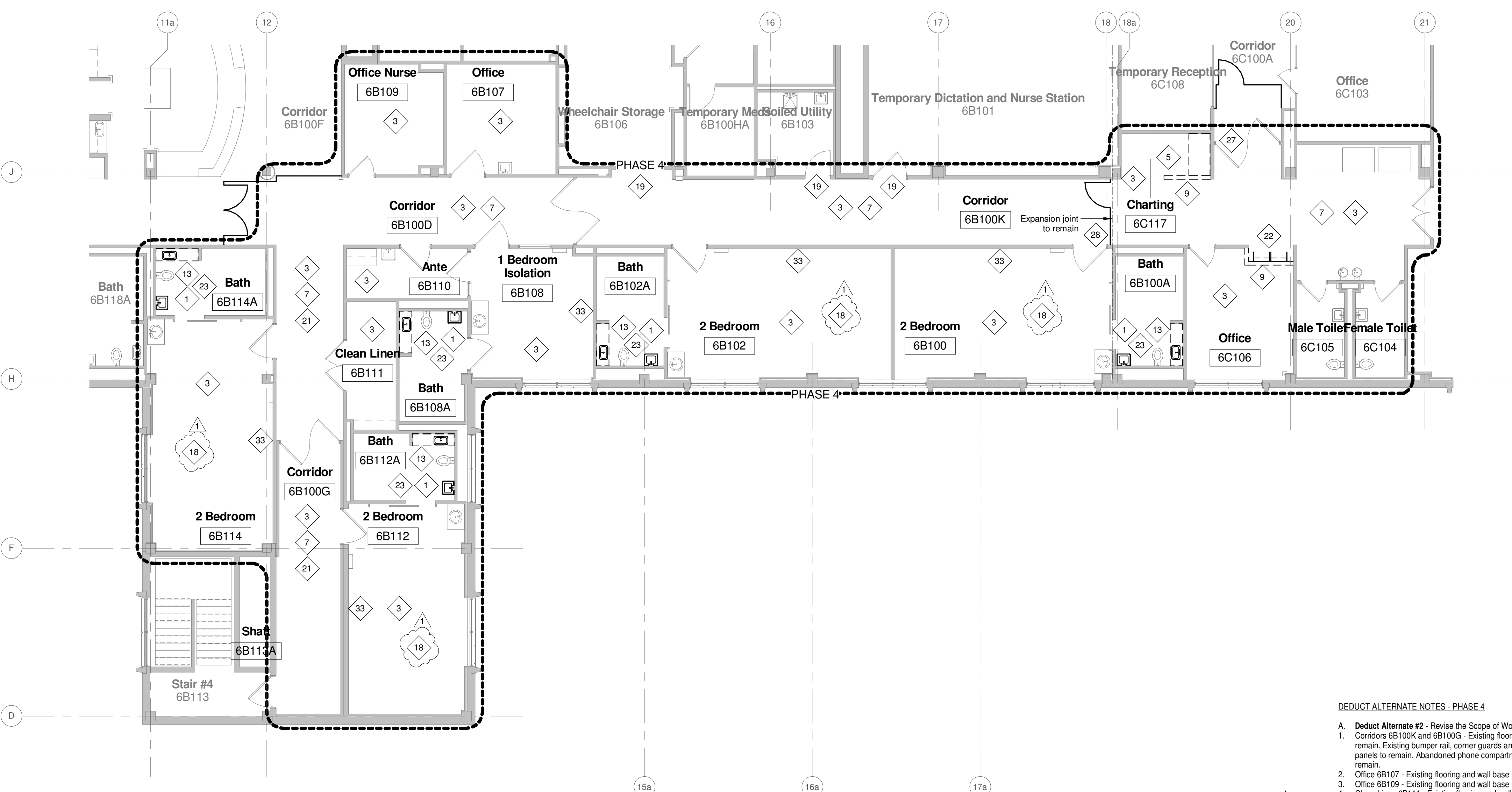
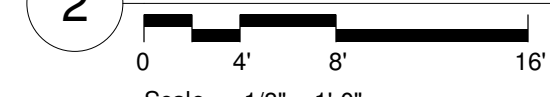
-  Existing construction to remain
 Existing construction to be demolished
 Temporary partition and contractor access door
 Remove existing partitions indicated to the underside of existing structure. Prepare all adjacent surfaces to receive new construction and scheduled finishes. -- See Coded Notes
 Number represents demolition coded note

GENERAL DEMOLITION NOTES

- DEDUCT ALTERNATE NOTES - PHASE 5

- A. Deduct Alternative #2 -** Revise the Scope of Work as follows:
1. Corridors 6B100C, 6B100E, 6B100EA and 6B100J - Existing flooring and wall base to remain. Existing bumper rail, corner guards and wall protection panels to remain.
 2. Break Room 6B140 - Existing flooring and wall base to remain.
 3. Office 6B142 - Existing flooring and wall base to remain.
 4. Electric 6B144 - Existing flooring and wall base to remain.
 5. Electric 6B145 - Existing flooring and wall base to remain.
 6. Nourishment 6B148 - Existing flooring and wall base to remain.
 7. Laundry 6B149 - Existing flooring and wall base to remain.
- B. Deduct Alternative #3 -** Revise the Scope of Work as follows:
1. Delete removal of Wondor system and ceiling alterations in Corridor 6B100C.
 2. Delete removal of door 6B146.

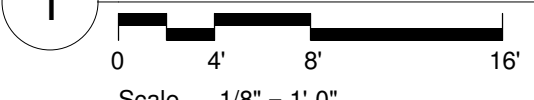
2 PARTIAL SIXTH FLOOR DEMOLITION PLAN - PHASE 5



DEDUCT ALTERNATE NOTES - PHASE 4

- A. **Deduct Alternate #2 -** Revise the Scope of Work as follows:
1. Corridors 6B100K and 6B100G - Existing flooring and wall base to remain. Existing bumper rail, corner guards and wall protection panels to remain. Abandoned phone compartments and wall to remain.
2. Office 6B107 - Existing flooring and wall base to remain.
3. Office 6B109 - Existing flooring and wall base to remain.
4. Clean Linen 6B111 - Existing flooring and wall base to remain.
5. Office 6C106 - Existing flooring and wall base to remain.
6. Charting 6C117 - Existing flooring and wall base to remain. Millwork and partition to remain.

1 PARTIAL SIXTH FLOOR DEMOLITION PLAN - PHASE 4



Revision	Date
Revision 1	
Addendum	07/15/2016
Bid Issue	05/10/2016

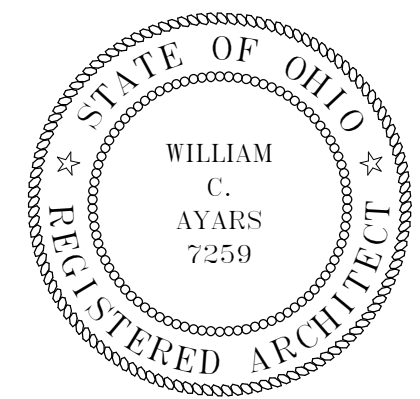
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Drawing Title
DEMOLITION PLANS - PHASES 4 & 5

Approved: Project Director

Project Title	Renovate Inpatient SCI Suite
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Location
VAMC - WADE PARK

Date 25/12/2019

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Drawn

Project Number
541-16-106

Building Number

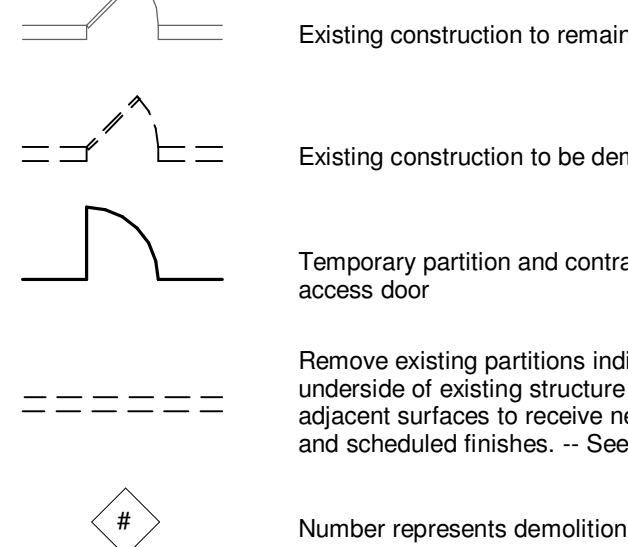
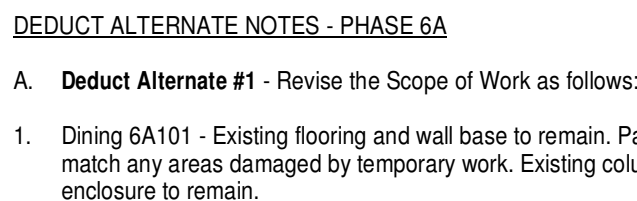
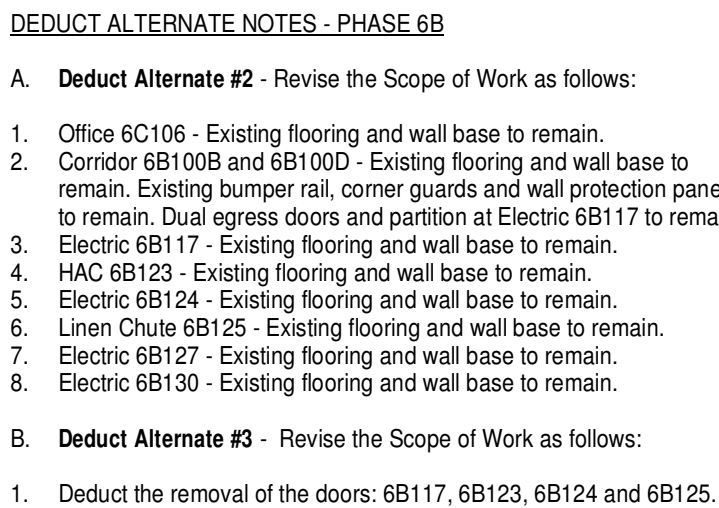
Drawing Number

1-03.3

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**Office of
Facilities
Management**





GENERAL DEMOLITION NOTE:

- A. Refer to Specifications Section 021010 "Demolition" for additional requirements and information.
- B. Project scope is indicated for general removal only. Additional demolition will be required inside and outside this line.
- C. Structural demolition shall include the following:
 1. Coordinate all new penetrations and/or openings with other associated trades.
 2. The Owner shall remove, prior to construction, all items that the Owner desires to salvage. All remaining items indicated to be salvaged shall be removed by the Contractor at the time of disposal in accordance with the project specifications.
 3. Contractor shall coordinate all demolition with the entire set of contract documents for full scope of demolition work required for the project.
- F. The following conditions shown on the drawings are not guaranteed to be complete. The Contractor shall verify all existing conditions, dimensions, and material requirements for the contracted work. Contractor all discrepancies to COR prior to fabrication erection, and/or installation.
- G. Contractor shall provide dust removing walk off mat (sacky mat) at construction entry points. Contractor shall ensure construction access at contractor access doors in temporary partitions. Where individual rooms without a temporary partition are constructed, the Contractor shall ensure entry point shall be through the temporary partition.
- H. Contractor shall install a HEPA filter at the Contractor's access door to maintain a minimum pressure to scope of work areas ensuring no dust will be transferred to occupied areas. Provide visual pressure monitoring device at dust port barricade to confirm containment. Dust monitoring shall be by Owner. See Infection Control Risk Assessment in specification section 01 35 "Safety Requirements".
- I. All demolition work being done outside temporary partitions is to be appropriately sealed off to prevent the transmission of dust contaminants. Work shall be done to minimize disruption to visitors, patients and staff. Coordinate location of barriers with the COR.
- J. The hospital's smoke and fire suppression system shall remain in operation within the project work area during the entire construction period.
- K. Field verify locations of all existing walls. Report any discrepancies to COR.
- L. Some items may be indicated in the demolition drawing and demolition notes which are not necessarily demolition work, but are items that the Contractor is to remove and dispose of. The Contractor shall coordinate with the COR to ensure that all work required to complete the work of the overall project.
- N. Flooring demolition includes the removal of existing floor finishes including VCT, sheet vinyl, ceramic tile, the quarry tile, carpet and carpet underlayment, and all other materials on the demolition concrete slab or other substrate ready for new floor finishes. Concealed multiple floor finishes may be present in several locations. Floor preparation shall be by the installing Contractor.
- O. Remove partitions indicated to be the underside of the structure above.
- N. Demolition of ceilings includes grid, tile, supports, soffits and related items as well as any ceiling mounted electrical and mechanical equipment and supporting structure. Some areas in the project contain multiple ceilings. Contractor shall remove all ceilings in the areas, U.N.O.
- P. Plug abandoned floor openings with new concrete. Plug shall match existing slab depth and shall be structurally sound to support the existing floor above. Also see Section 03 30 "Concrete".
- Q. All fire rated assemblies (columns, shafts, walls, etc.) shall be maintained or be relocated/damaged. Match existing fire rating U.N.O.
- R. Where new doors are indicated, cut openings in existing wall. Prepare openings for new door. Patch adjacent walls for match existing.
- S. After removal of existing partitions, Contractor shall provide cementitious infill and floor leveler to prepare floor surface for new finish.
- T. General Contractor to remove existing signage during each phase, patch and repair and damaged walls and prep walls for new finishes and new signage. See specifications 1 04 00 for sign schedule.
- U. See Section 03 30 "Concrete" for plumbing, HVAC, and fire protection demolition. See electrical drawings for all power and lighting demolition.
- V. Debris removal shall not interfere with Owner's operations and shall occur during hours as determined by COR.
- W. The Contractor shall remove all debris from the project work area, floor, ceiling, ceiling, etc. shall be damaged between the hours of 8am and 5pm.
- X. Contractor shall remove all debris from existing walls, ceilings and floor finishes scheduled to remain. Any surface(s) damaged by contractor shall be replaced by contractor at no additional cost to the owner.
- Z. All areas outside of temporary partitions requiring new work shall be performed during hours of operation for patients and staff.

TEMPORARY PARTITION NOTES

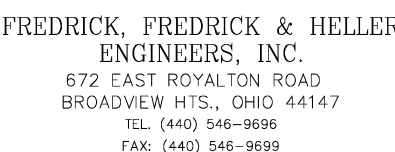
- A Contractor shall at all times provide and/or maintain separation between Occupied-occupied areas and construction or partially constructed areas.
- B Temporary partitions shall be built and maintained at all times temporary partitions in accordance with Detail 2 on drawings 1-0.1. Temporary partitions shall be located to separate all Occupied occupied areas from construction areas. Temporary partitions shall be constructed in accordance with the details shown on drawings 1-0.1.
- C Temporary construction partitions and contractor access doors are to be constructed in their entirety prior to the start of demolition.
- D Demolition and excav locations of temporary partitions with existing items in corridor ceilings and walls. Excit access corridors must remain adequately lit and ventilated throughout the construction process.
- E Temporary partitions shall be installed to prevent unauthorized access to sequencing of the work. Contractor shall determine location and quantity of all temporary partitions in accordance with ICRCA and VAA requirements prior to substantial bid.
- F Existing temporary partitions completely after completion of work and when approved by COR. Patch all surfaces damaged by the installation or removal of partitions.
- G Mechanical equipment, such as pneumatic tools, air supply system, or other service media, may be used to cut, if temporary partitions are used to protect workers from falling objects. Contractor shall temporarily relocate the affected devices to maintain their effectiveness.

6th FLOOR DEMOLITION CODED NOTES

Note: Not all coded notes apply to this drawing

1. Remove existing wall hung sink. See plumbing drawings.
2. Remove glass windows and frames, patch area for new construction and finishes.
3. Remove existing flooring and wall base. Prepare existing surfaces to receive new scheduled finishes.
4. Remove existing flooring, wall and tile wall base. Prepare existing surfaces to receive new scheduled finishes.
5. Remove existing kitchen cabinetry.
6. Remove existing door, frame associated hardware. Prepare and fill adjacent surfaces to receive new scheduled finishes.
7. Remove portion of wall as required for new door.
8. Remove complete Window/ system, including track and support framing.
9. Remove wall from floor to underside of structure, patch and prepare adjacent surfaces to receive new scheduled finishes.
10. Remove portion of wall as required for new door.
11. Remove existing gypsum board sink, prepare area for new finishes and materials. Refer to Reflected Ceiling Plan.
12. Remove toilet and urinal.
13. Remove existing counter and sink.
14. Remove existing column covers complete.
15. Remove wall from floor to 8" (R/Back)
16. Remove existing part of doors and store for reinstallation at end of Phase 2.
17. Remove existing ceiling.
18. Remove existing window treatments/shades store and reinstall after installation of new finishes.
19. Temporarily seal door opening to prevent the migration of dust to occupied areas. Remove seal at conclusion of work phase and replace with new seal.
20. Remove existing door and frame. Make sure that door will be coordinated with GCR and will be of adequate rating.
21. Maintain emergency egress at all times through this area. See also Life Safety Plan.
22. Remove abandoned phone compartment.
23. Remove existing floor slab grill bar.
24. Maintain Owner access to Electrical panels at all times.
25. Remove existing semi recessed combined paper towel/waste dispenser and prepare wall for new finishes.
26. Provide temporary partition for temporary nourishment station prior to start of phase 5 work - see also electrical drawings.
27. Remove existing wall protection partition for base of wall and ceiling. See also Electrical Materials #1 and #2.
28. Location of temporary partition for Deduct Atrium #3.
29. Remove temporary low wall protection installed in Phase 1.
30. Remove existing shell and reinstall after installation of new finishes.
31. Remove existing sink and other wall mounted devices to facilitate the installation of new wall protections panels. Reinstall devices after new wall protection panels are installed.
32. Contractor shall inspect remove and replace deteriorated drywall and framing prior to installation of new finishes.
33. Remove existing wall protection panels, including electrical, including mechanical stairwells steel guard rails etc. Patch GYP BD and acoustical insulation, and prepare partition for new finishes. Refer also to Mechanical and Electrical drawings.
34. Remove existing door and hardware.
35. Prepare existing nurse station for new finishes.

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Drawing Title
DEMOLITION PLANS - PHASES 6A & 6B

Approved: Project Director

Project Title
**Reno
Suite**

Location
VAMC - WADE PARK

Date
05/10/2016

Project Number
541-16-106

Building Number

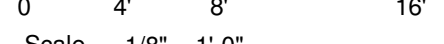
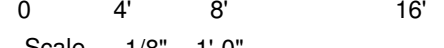
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Department of
Veterans Affairs

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